

***To arrange a viewing contact us
today on 01268 777400***



Weir Gardens, Rayleigh Offers over £600,000

Set within the highly sought-after Weir Gardens, this beautifully renovated 1920s detached home effortlessly combines timeless character with modern elegance. Meticulously redesigned by the current owners, the property offers a harmonious blend of period charm and contemporary comfort, making it an ideal choice for families and those who love to entertain. Video in tab below to view this wonderful home in more detail.

The main residence features four generously proportioned bedrooms and two stylish bathrooms, alongside a spacious, light-filled open-plan kitchen/diner. This central hub of the home flows seamlessly into a comfortable sitting room and a welcoming lounge, creating versatile living spaces perfect for both relaxed family time and formal gatherings.

One of the most unique aspects of this home is the attached self-contained annex, thoughtfully designed to provide flexible, independent living. Ideal for multi-generational families, guests, or even as a private workspace, the annex includes its own fully equipped kitchen, a well-sized double bedroom, a conservatory with views of the garden, and a private W/C. Whether accommodating elderly relatives, giving growing teens a sense of independence, or generating rental income, this space adapts beautifully to your lifestyle needs.

Externally, the home is enhanced by a well-maintained garden, ample driveway parking, and a peaceful setting that offers both community and seclusion. This exceptional property truly offers the best of both worlds—period elegance and modern convenience—in one of the area's most desirable locations.

www.aspireestateagents.co.uk

Room Measurements

Ground Floor

Kitchen Area: 19'3" x 9'6"

Dining Area: 10'9" x 6'6"

Lounge: 14'6" x 9'9"

Sitting Room: 11'1" x 9'9"

Utility Room: 7'3" x 3'9"

Ground Floor Bathroom: 12'4" x 4'9"

Annex (Self-Contained)

Bedroom: 8'8" x 8'7"

Lounge Area: 14'1" x 8'8"

Kitchen: 6'6" x 5'8"

Conservatory: 8'2" x 7'7"

First Floor

Bedroom One: 13'0" x 10'5"

Bedroom Two: 15'4" x 9'9"

Bedroom Three: 10'5" x 10'0"

Shower Room: 6'7" x 4'5"

Ground Floor

Step through a bright, welcoming porch into a spacious entrance hall that sets the tone for the rest of the home. To the front, the lounge exudes warmth with its elegant circular bay window and inviting atmosphere. Double doors open into a versatile sitting room, ideal for relaxation or entertaining, which seamlessly connects to the heart of the home—a stunning open-plan kitchen/dining area. Featuring high-spec integrated appliances, stylish cabinetry, and a dramatic sky lantern, the space is flooded with natural light, making it a perfect social hub.

A separate utility room ensures practicality, while a beautifully appointed four-piece family bathroom on the ground floor adds flexibility. Internal access to the attached garage adds further convenience.

To the rear of the ground floor, a private inner hallway leads to the attached self-contained annex—a truly standout feature. Thoughtfully designed for independent living, it includes a compact but fully functional kitchen, a comfortable double bedroom, and a dedicated WC. The annex lounge area opens into a charming conservatory, ideal as a reading room or garden retreat. This space is perfect for elderly relatives, extended family, or even as a private guest suite or rental opportunity.

First Floor

The upper floor continues the home's spacious and family-friendly feel, offering three generously sized

double bedrooms, all bright and well-proportioned. A modern, stylish shower room serves the floor, while a handy storage cupboard on the landing provides space for linens or household essentials.

Exterior

The rear garden offers a private, tranquil setting ideal for both entertaining and relaxation. Fully enclosed and unoverlooked, it features a beautifully maintained lawn, mature borders with flowering shrubs, and a large paved terrace—perfect for al fresco dining or summer barbecues. A practical garden shed is tucked away at the rear, providing ample outdoor storage. To the front, the property enjoys a wide driveway with parking for up to three vehicles, in addition to an attached garage offering secure storage or workshop potential.

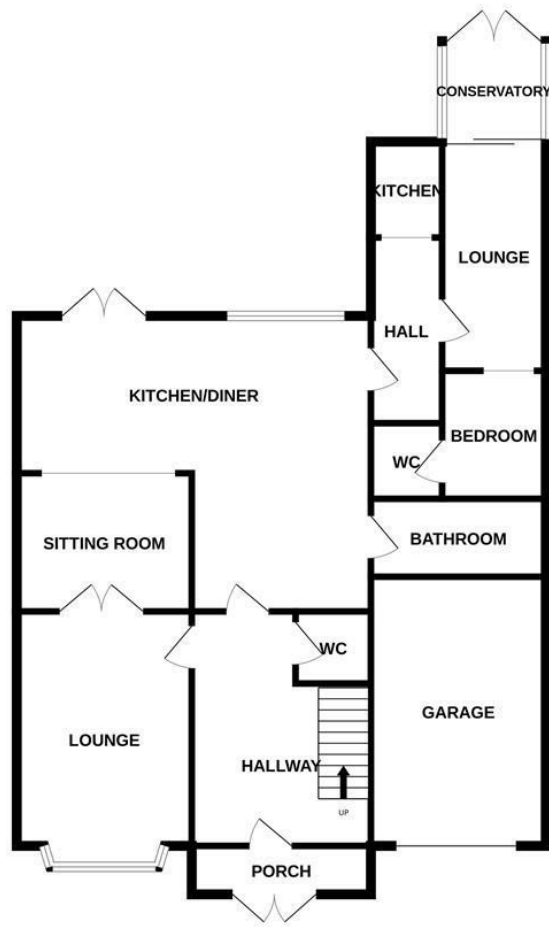
Location

Situated in the highly desirable Weir Gardens area of Rayleigh, this property enjoys both convenience and lifestyle. Just moments from the A127 for easy road access and only a short distance from Rayleigh Station, commuters will benefit from direct train links to London Liverpool Street in under 45 minutes. Rayleigh's vibrant High Street is within walking distance, offering a range of boutiques, eateries, cafés, and essential amenities.

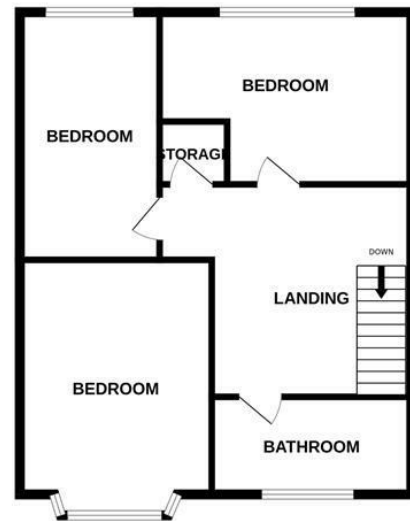
School Catchment

This home falls within the catchment for several highly regarded local schools, including Rayleigh Primary School and the ever-popular FitzWimarc School, both known for their strong academic results and inclusive, community-focused ethos—making the property a smart choice for families.

GROUND FLOOR

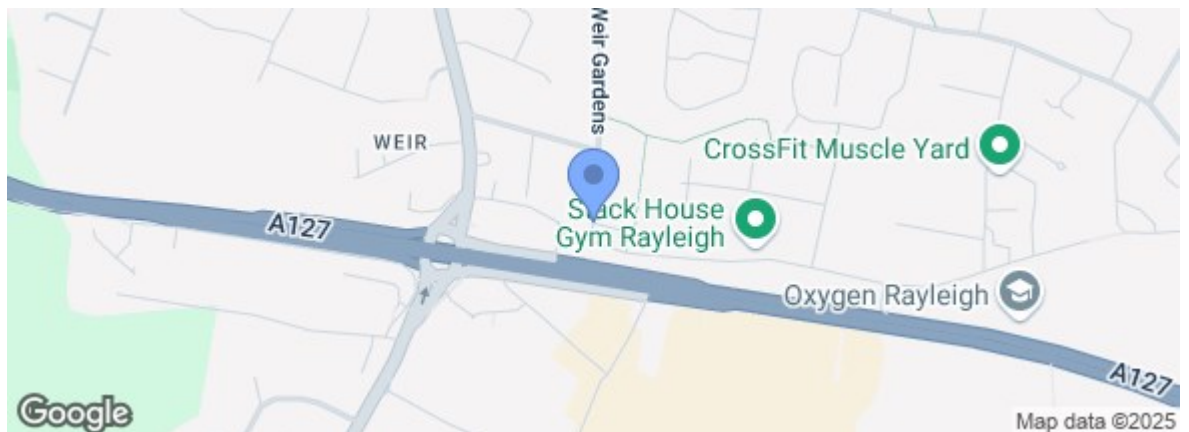


1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Made with Metropix ©2025

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	
Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	



 **rightmove.co.uk**
The UK's number one property website

Zoopla.co.uk

Under the Property Misdescriptions Act 1991 we make every effort to ensure our sales details are accurate but they are a general outline and do not constitute any part of an offer or contract. Any services, equipment and fittings have not been tested and no warranty can be given as to their condition. We strongly recommend that all the information provided be verified by your advisors and in particular, measurements required for a specific purpose such as fitted furniture or carpets. Please tell us if you have any problems and members of our branches will help either over the phone or in person. A copy of our complaints procedure is available on request. The details are issued on the strict understanding that any negotiations in respect of the property named herein are conducted through Aspire Estate Agents.